

STATEMENT OF HERITAGE IMPACT

Proposed New Cellar Bar Entry Portico to Kosciuszko Chalet Hotel



prepared by

Eric Martin and Associates

For

Charlotte Pass Snow Resort



Planning,
Industry &
Environment

- 8 JAN 2020

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Eric Martin
& Associates
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10/68 Jardine St
KINGSTON ACT 2604
Ph: 02 6260 6395
Fax: 02 62606413
Email: emaa@emaa.com.au

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1. INTRODUCTION

As part of the DA for the proposed new cellar bar entry portico to the Kosciuszko Chalet Hotel, NSW Planning have requested a Statement of Heritage Impact.

This report was prepared by Eric Martin AM of Eric Martin & Associates.

2. CURRENT HERITAGE STATUS

Kosciuszko Chalet Hotel is within Kosciuszko National Park which is managed by NSW National Parks and Wildlife Service. The Section 170 Heritage assessment of the Kosciuszko National Park identifies Kosciuszko Chalet Hotel as an item of heritage value. The Historic Heritage Information Management System (HHIMS) is included as Attachment 1 and states the significance of the hotel as¹:

The Chalet is important for its ability to illustrate the growth of skiing as a leisure sport under the NSW Government Tourist Bureau during the 1920s and 1930s and is an important example of innovative design which characterises the sense of place of Charlotte Pass Village, the first ski resort in the region. The building is rare at local regional and State levels for its historical, commercial and architectural values and has ongoing contemporary social values as part of the resort. The attached staff quarters building is one of only two SMA huts in the region.

Further details on the history of the Hotel is available in the following references:

HHIMS Kosciuszko Chalet Hotel, Charlottes Pass. Item 9346

Freeman, P, *Ski Resorts Heritage Study*, June 1998 Vol 1-3

Ski Resorts Heritage Study Database, *Item 515 Chalet*, 12 September 1997

Charlotte Pass Village, Environmental Values Report May 2008

State Environmental Planning Policy (Kosciuszko National Park – Alpine resorts)
<https://www.legislation.nsw.gov.au/#/view/EPI/2007/643/part5/div2/cl26>

Hogg, D, *Charlotte Pass Conservation Plan*, March 1993.

The CMP policies that relate to the proposed alterations of an entry portico are²:

- *The setting of the Chalet and its Annexe should be maintained in a form which presents the Chalet as the most significant building within the Charlotte Pass resort and the Annexe as a clearly identifiable addition to the Chalet building.*
- *Sympathetic extension and rationalisation of the Chalet/Annexe complex in accordance with Section 6.2.2 should be allowed to enable the complex to retain and expand its present use and function.*
- *Any proposal for extension of the complex should be assessed within the following policy guidelines:*
 - *compatibility of building scale and form;*
 - *use of roof forms of similar dimension and pitch;*
 - *ease of identification of old and new buildings by creating harmonious and similar forms from a distance while being identifiably different close up;*
 - *reduction in apparent size of extension by landscaping flat-roofed areas;*
 - *treatment of flat-roofed areas as primary areas within the complex, i.e. as landscaped/courtyard areas.*
- *Sympathetic additions/deletions to the Chalet building which maintain overall form and building detail will be allowable. The extent of the acceptable extensions or demolitions consistent with this policy is shown diagrammatically in Figures 6.1 and 6.2.*

¹ HHIMS Item 9346 Kosciuszko Chalet Hotel, Charlottes Pass.

² CMP, p 54-5

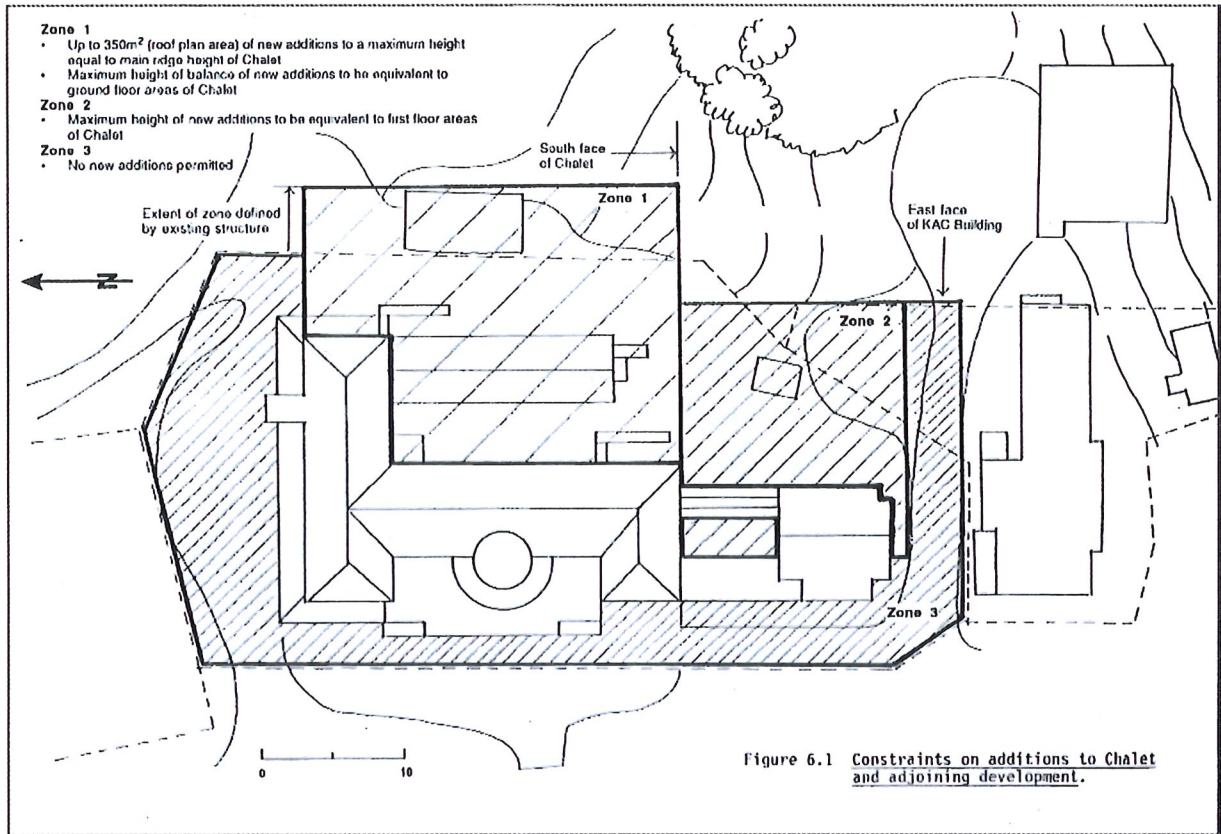


Figure 1: Constraints on additions to Chalet and Adjoining Development

Source: CMP, p 54

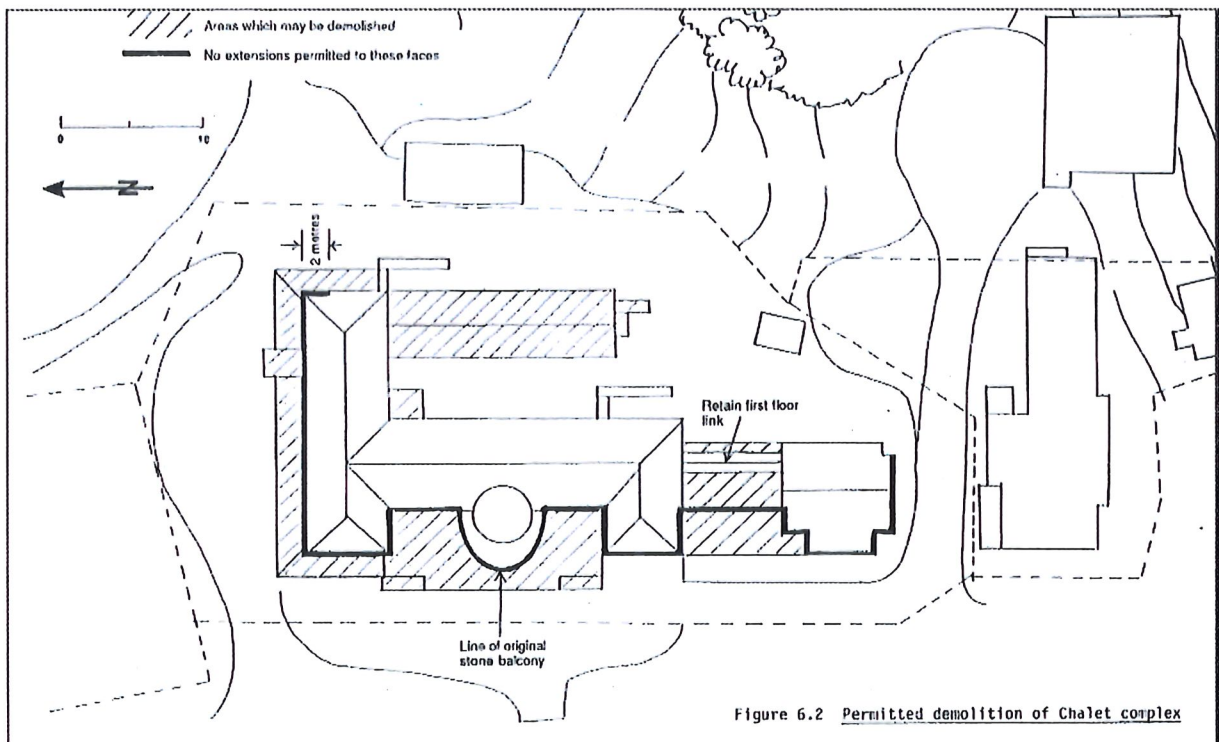


Figure 2: Permitted demolition of Chalet Complex

Source: CMP, p 56

The CMP does not detail minor modifications in the implementation of the conservation policy in Section 7 but does mention "some modification to the exterior of the building". In Section 7.1 Option D Major Modification and extension states "there is considerable flexibility in how such upgrading might be achieved."

3. PROPOSED WORK

The drawings in Attachment 2 detail the proposed new portico with the main design drawing below:

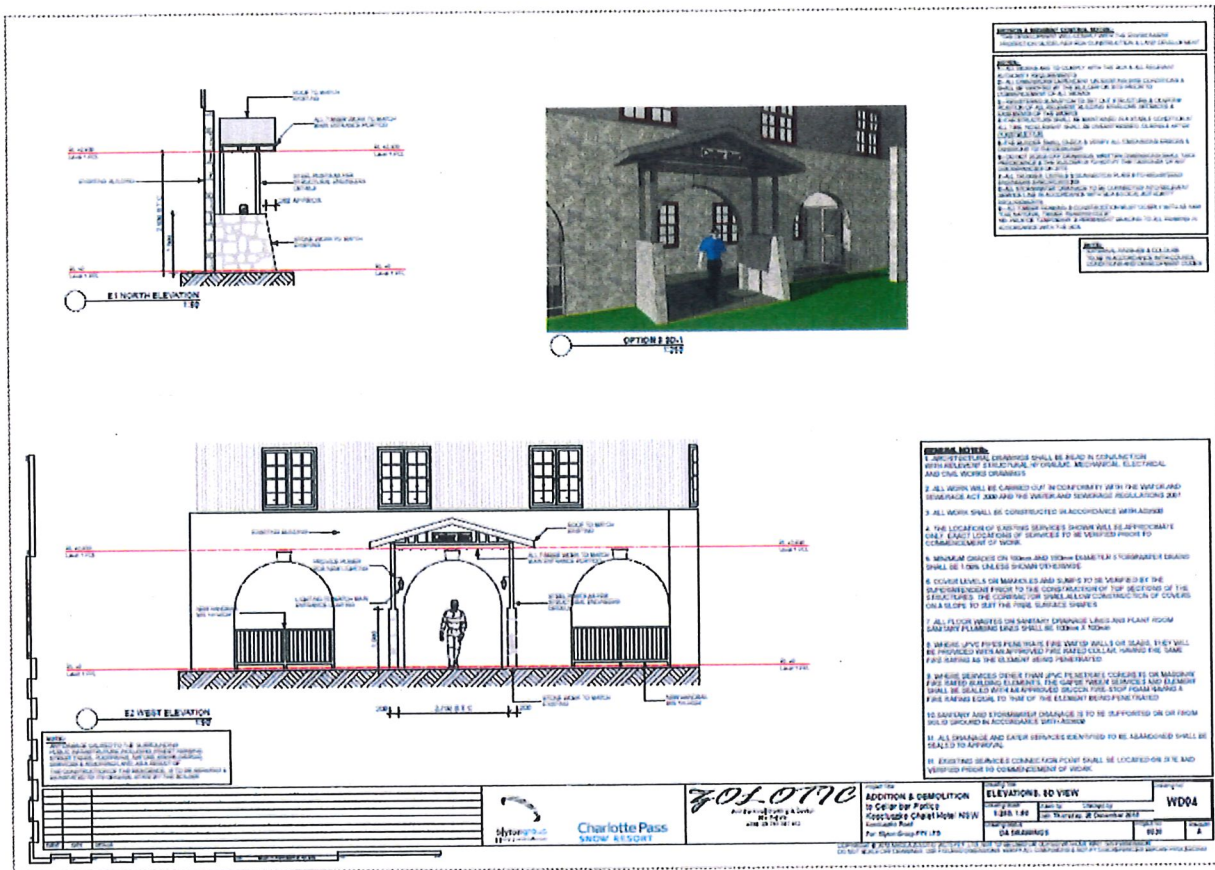


Figure 3: Elevations, 3D View

Source: Charlotte Pass Snow Resort Pty Ltd, 2019

4. COMMENT


The proposed portico attaches to previous extensions to the building but removes a very unsympathetic addition and provides a design which uses materials and details of the existing building. This will improve the appearance of the building.

Despite major changes to the building over the years which have compromised its architectural and aesthetic qualities, the citation rates the innovative design and architectural values as significant. The proposed work will not adversely affect these. The existing building includes a stone base with timber above and the proposed portico repeats this language and design principle.

5. CONCLUSION

The proposal new portico will not adversely affect the significance of the Kosciuszko Chalet Hotel.

ATTACHMENT 1 HHIMS INVENTORY SHEET



Page 4 of 1

Item - Single

Criteria Item Name like %charlotte%%

Item ID	5346	SHI ID	3915132	Status	Section 170
Item Name	Kosciuszko Chalet Hotel, Charlottes Pass				
Item Type	Element	Datum	GDA	Easting	619446
Mapshoot	MKOSS	Zone	66	Northing	5967036
Directorate	Park Management	National Park	Kosciuszko National Park		
Region	Southern Ranges	LGA	SNOWY MONARO REGIONAL		
Area	Alpha	ABLC	FIFN		

Assessed Significance Local

Statement of Significance

The Chalet is important for its ability to illustrate the growth of skiing as a leisure sport under the NSW Government Tourist Bureau during the 1920s and 1930s and is an important example of innovative design which characterises the sense of place of Charlotte Pass Village, the first ski resort in the region. The building is rare at local regional and State levels for its historical, commercial and architectural values and has ongoing contemporary social values as part of the resort. The attached staff quarters building is one of only two SMA huts in the region.

Physical Description

The Chalet is located in the upper reaches of Spencers Creek below Kangaroo Ridge which provides downhill skiing facilities for the resort. As the primary element in the resort the Chalet dominates the village in every sense and is the first point of contact after crossing Spencers Creek. The L-shaped plan, extended a U-shaped plan in 1953 sits on the lower part of the rocky spur defining Spencers Creek. Associated structures include the former powerhouse and an MCC sub-station at the rear. The main elevation faces west towards the snow with the entrance at first floor level at the upper part of the site. Service areas located in the 'rusticated basement' approached from below. At its southern end the building is separated from Kosciuszko Alpine Club lodge by a narrow laneway.

Historical Summary

The Chalet was built in 1938/39 to replace the 1930 structure destroyed by fire. The new Chalet was designed by architect Mr Melville for the Government Tourist Bureau the project being organised by The Secretary of Railways Mr Newman in consultation with the Ski Club of Australia. A separate two storey structure at the southern end included club rooms for the Ski Club of Australia and was erected in 1940. The building has subsequently received a number of modifications and additions. In 1953 an ex SMHEA construction workers shed was linked to the building to form a U-shaped plan; this extension included staff accommodation to service the growing resort. Ten years later in 1963 with the departure of the Ski Club of Australia the area between the two earliest buildings was enclosed subsequently becoming the primary entrance/reception for the building. An enclosed verandah was also added at this time to the north west corner of the building, extending halfway across the northern facade of the building. With the formation of a development plan for the village further changes were made under the direction of architect Ken Grogg of Sydney during the 1980s. These included extensions to the verandah on the north side, basement changes and the addition of a more formal covered porch to the main entrance. Landscape changes proposed in 1980 have not been implemented. Basement changes included the SMA building understorey which received stone facings. The eastern end of the building at 1st floor level was replanned internally. The building is currently managed in accordance with a conservation plan.

List of Elements : Not Applicable

Current Use(s)

Ski chalet

Former Use(s)

Ski chalet

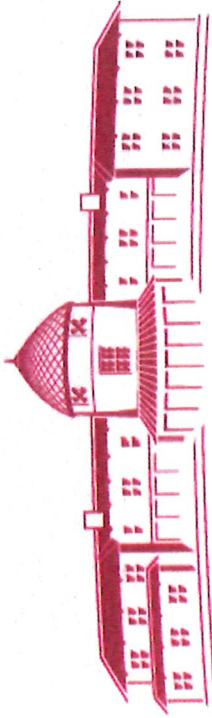
ATTACHMENT 2 DRAWINGS

NOTE:
 - BLOCK BEARINGS, LENGTHS & CONTOURS HAVE BEEN DEPICTED FROM ORIGINAL DRAWINGS TO BE CONFIRMED BY BUILDER BEFORE ANY CONSTRUCTION HAS STARTED.



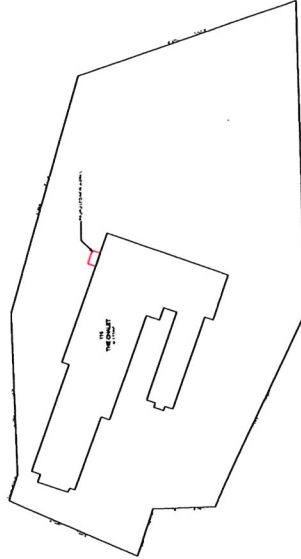
LOCATION PLAN

SUBJECT SITE (KOSCIUSZKO CHALET HOTEL)



KOSCIUSZKO CHALET • HOTEL

CHARLOTTE PASS • AUSTRALIA



SITE PLAN
 1:1000

NOTE:
 - EXTERNAL FINISHES & COLOURS TO BE IN ACCORDANCE WITH COUNCIL CONDITIONS AND DEVELOPMENT CODES.

EROSION & SEDIMENT CONTROL NOTES:
 - THE ENVIRONMENT PROTECTION GUIDELINES FOR CONSTRUCTION & LAND DEVELOPMENT.

NOTES:
 1- ALL WORKS ARE TO COMPLY WITH THE BCA & ALL RELEVANT AUTHORITY REQUIREMENTS.
 2- ALL DIMENSIONS DEPENDENT ON EXISTING SURFACE FINISHES UNLESS OTHERWISE SPECIFIED.
 3- ALL DIMENSIONS TO BE MAINTAINED IN A STABLE CONDITION AT ALL TIMES. NO ELEMENT SHALL BE OVERSTRESSED, DURING & AFTER CONSTRUCTION.
 4- THE STRUCTURE SHALL BE MAINTAINED IN A STABLE CONDITION AT ALL TIMES. NO ELEMENT SHALL BE OVERSTRESSED, DURING & AFTER CONSTRUCTION.
 5- THE BUILDER SHALL CHECK & VERIFY ALL DIMENSIONS, ERRORS & OMISSIONS TO THE DESIGNER.
 6- DO NOT SCALE OR DIMENSIONS FROM THIS DRAWING. DIMENSIONS SHALL TAKE PRECEDENCE OVER DIMENSIONS TAKEN FROM THE PHOTOGRAPHS.
 7- ALL DIMENSIONS TO BE CONNECTED INTO RELEVANT SERVICE LINE IN ACCORDANCE WITH BCA & LOCAL AUTHORITY REQUIREMENTS.
 8- ALL STORMWATER DRAINAGE TO BE CONNECTED INTO RELEVANT SERVICE LINE IN ACCORDANCE WITH BCA & LOCAL AUTHORITY REQUIREMENTS.
 9- ALL TIMBER FRAMING & CONSTRUCTION MUST COMPLY WITH AS 1734 "THE NATIONAL TIMBER FRAMING CODE".
 10- PROVIDE TEMPORARY & PERMANENT BRACING TO ALL FRAMING IN ACCORDANCE WITH THE BCA.

Project Title:
ADDITION & DEMOLITION
 to Cellular bar Portico
 KOSCIUSZKO Chalet Hotel NSW
 Kosciuszko Road
 For: Blyton Group PTY LTD

Drawing No:	WD01
Checked by:	
Drawn by:	Thursday, 20 December 2018
Project No:	0030
Revision:	A

302.079c
 Architectural Drafting & Design
 Nik Zolotic
 A/N: 28 790 841 452

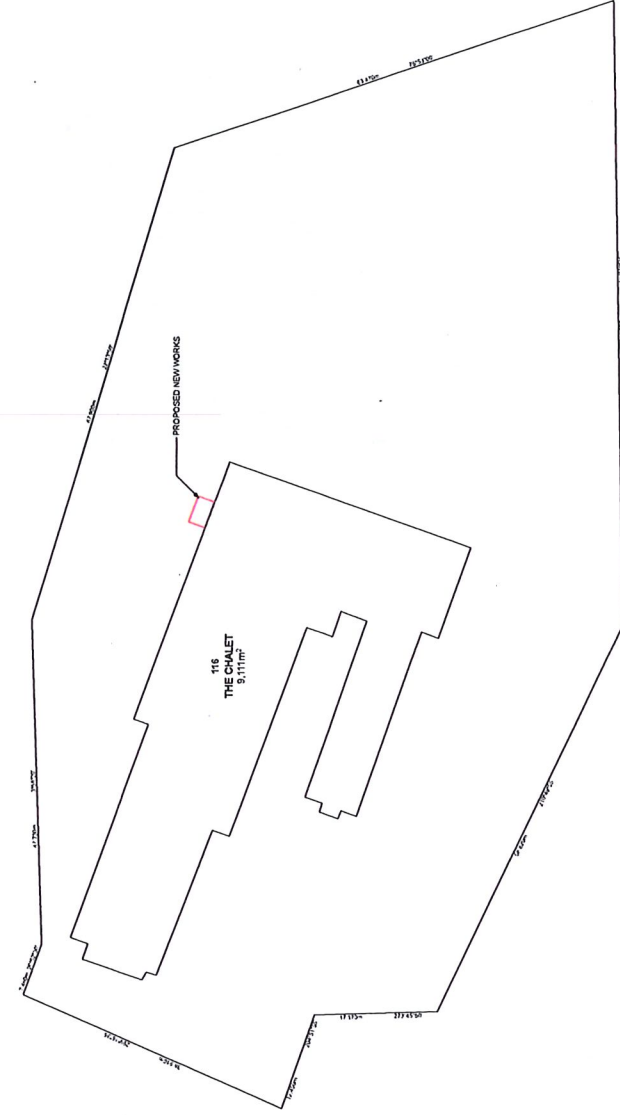


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 DO NOT SCALE OFF DRAWINGS. USE FIGURED DIMENSIONS. VERIFY ALL DIMENSIONS & NOTIFY DISCREPANCIES BEFORE PROCEEDING.

NOTE:-
 - BLOCK BEARINGS, LENGTHS & CONTOURS HAVE BEEN DEPICTED FROM ORIGINAL DRAWINGS TO BE CONFIRMED BY BUILDER BEFORE ANY CONSTRUCTION HAS STARTED.

NOTES:-
 ALL TIMBER FRAMING AND CONSTRUCTION MUST COMPLY WITH THE CURRENT VERSION OF THE TIMBER FRAMING CODE AS1684 AND THE BCA FOR EFFECTIVE ROOF LENGTH & 400mm TO 1100mm 90x35mm WALL PLATES (TOP & BOTTOM). PROVIDE DOUBLE 90x35mm TOP PLATES TO LOAD BEARING WALLS
 90x35mm STUDS WITH ONE ROW OF NOGGING.
 PROVIDE STUDS & 90x35mm WALL PLATES TO BE OPENINGS OR GULLIES. PROVIDE DOUBLE 90x35mm STUDS AT 900mm CENTRES WITH ONE ROW OF NOGGING.
 ALL LINTELS SHALL COMPLY WITH TRUSS MANUFACTURERS CHARTS
 ROOF FRAMING:
 PREFABRICATED TIMBER ROOF TRUSSES INSTALLED TO MANUFACTURERS SPECIFICATIONS.
 FRAMING TO AS1684-1992 NATIONAL TIMBER FRAMING CODE & SUPPLEMENTS.
 FINISHES TO AS3000.
 ENGINEERING CONSULTATION TAKES PRECEDENCE OVER ARCHITECTURAL STRUCTURAL SIZINGS.
 BRICKWORK TO AS3700 "SAA MASONRY CODE & AS1640" SAA BRICKWORK CODE
 STRUCTURAL STEEL TO AS1170 & AS4100.
 SMOKE ALARMS TO AS3785

Notes:-
 -All timber products as per FSC (Forestry Standards Council), PEFC (Programme for the Endorsement of Forest Certification) or AFS (Australian Forestry Standard) products with certified CoC (Chain of Custody) to merchant level?
 Note: Illegal or old growth timbers are banned within CFSGAM centres
 All paints/finishes are required to be low in Volatile Organic Compounds (VOCs).
 Note: this includes 2 pack and hand applied finishes.
 -All graphics and signage substrates and inks are required to be low in VOCs.
 -All lacquers, adhesives and sealants are required to be low in VOCs.
 -Plasterboard Walls (not including landlord inter-tenancy walls) are to be recycled or recyclable
 -All floor finishes are required to be low in VOCs.



SITE PLAN
 1:500

EROSION & SEDIMENT CONTROL NOTES:-
 -THE DEVELOPMENT WILL COMPLY WITH THE ENVIRONMENT PROTECTION GUIDELINES FOR CONSTRUCTION & LAND DEVELOPMENT.

- GENERAL NOTES:-**
1. ARCHITECTURAL DRAWINGS SHALL BE READ IN CONJUNCTION WITH RELEVANT STRUCTURAL, HYDRAULIC, MECHANICAL, ELECTRICAL AND CIVIL WORKS DRAWINGS.
 2. ALL WORK WILL BE CARRIED OUT IN CONFORMITY WITH THE WATER AND SEWERAGE ACT 2000 AND THE WATER AND SEWERAGE REGULATIONS 2001.
 3. ALL WORK SHALL BE CONSTRUCTED IN ACCORDANCE WITH AS3500.
 4. THE LOCATION OF EXISTING SERVICES SHOWN WILL BE APPROXIMATE ONLY. THE EXACT LOCATIONS OF SERVICES TO BE VERIFIED PRIOR TO COMMENCEMENT OF WORK.
 5. MINIMUM GRADES ON 100mm AND 150mm DIAMETER STORMWATER DRAINS SHALL BE 1.00% UNLESS SHOWN OTHERWISE.
 6. COVER LEVELS ON MANHOLES AND SUMPS TO BE VERIFIED BY THE SUPERINTENDENT PRIOR TO THE CONSTRUCTION OF TOP SECTIONS OF THE STRUCTURES. THE CONTRACTOR SHALL ALLOW CONSTRUCTION OF COVERS ON A SLOPE TO SUIT THE FINAL SURFACE SHAPES.
 7. ALL FLOOR WASTES ON SANITARY DRAINAGE LINES AND PLANT ROOM SANITARY PLUMBING LINES SHALL BE 100mm X 100mm.
 8. WHERE UPVC PIPES PENETRATE FIRE RATED WALLS OR SLABS, THEY WILL BE PROVIDED WITH AN APPROVED FIRE RATED COLLAR, HAVING THE SAME FIRE RATING AS THE ELEMENT BEING PENETRATED.
 9. WHERE SERVICES OTHER THAN UPVC PENETRATE CONCRETE OR MASONRY FIRE RATED BUILDING ELEMENTS, THE CASING SHALL BE PROVIDED WITH AN APPROVED SILICON FIRE-STOP FOAM HAVING A FIRE RATING EQUAL TO THAT OF THE ELEMENT BEING PENETRATED.
 10. SANITARY AND STORMWATER DRAINAGE IS TO BE SUPPORTED ON OR FROM SOLID GROUND IN ACCORDANCE WITH AS3500
 11. ALL DRAINAGE AND EATER SERVICES IDENTIFIED TO BE ABANDONED SHALL BE SEALED TO APPROVAL.
 11. EXISTING SERVICES CONNECTION POINT SHALL BE LOCATED ON SITE AND VERIFIED PRIOR TO COMMENCEMENT OF WORK.

NOTE:-
 -EXTERNAL FINISHES & COLOURS TO BE VERIFIED PRIOR TO COMMENCEMENT OF WORK.
 -CONDITIONS AND DEVELOPMENT CODES.

NOTE:-
 -ANY DAMAGE CAUSED TO THE SURROUNDING PUBLIC INFRASTRUCTURE INCLUDING STREET LIGHTING, SERVICES AND ADDITIONAL LAND AS A RESULT OF THE CONSTRUCTION OF THE RESIDENCE, IS TO BE REPAIRED & RESTORED TO ITS ORIGINAL STATE BY THE BUILDER

NOTES:
 10- ALL WORKS ARE TO COMPLY WITH THE BCA & ALL RELEVANT AUTHORITY REQUIREMENTS.
 2- ALL DIMENSIONS DEPENDENT ON EXISTING SITE CONDITIONS & SHALL BE VERIFIED BY THE BUILDER ON SITE PRIOR TO COMMENCEMENT OF ALL WORKS.
 3- REGISTERED SURVEYOR TO SET OUT STRUCTURE & CONFIRM POSITION OF ALL RELEVANT BUILDING ENVELOPE SETBACKS & EASEMENTS OF THE WORKS.
 4- THE BUILDER SHALL CHECK & VERIFY ALL DIMENSIONS PRIOR TO COMMENCEMENT OF WORKS.
 5- THE BUILDER SHALL CHECK & VERIFY ALL DIMENSIONS ERRORS & OMISSIONS TO THE DESIGNER.
 6- DO NOT SCALE OFF DRAWINGS. WRITTEN DIMENSIONS SHALL TAKE PRECEDENCE & THE BUILDER IS TO NOTIFY THE DESIGNER OF ANY DISCREPANCIES ON SITE.
 7- ALL DIMENSIONS TO BE VERIFIED BY REGISTERED ENGINEERS SPECIFICATIONS.
 8- ALL STORMWATER DRAINAGE TO BE CONSTRUCTED IN ACCORDANCE WITH AS3500 & ALL LOCAL AUTHORITY REQUIREMENTS.
 9- ALL TIMBER FRAMING & CONSTRUCTION MUST COMPLY WITH AS 1684 - THE NATIONAL TIMBER FRAMING CODE.
 10- PROVIDE TEMPORARY & PERMANENT BRACING TO ALL FRAMING IN ACCORDANCE WITH THE BCA.

Project Title: ADDITION & DEMOLITION to Cellular bar Portico Kosciuszko Chalet Hotel NSW Kosciuszko Road For: Blyron Group PTY LTD		Drawing Title: SITE PLAN	Drawing No.: WD02
Project Status: DA DRAWINGS		Checked by: Nita Zolotic	Checked on: Thursday, 20 December 2018
Scale: 1:500		Project No.: 0030	Revision: A

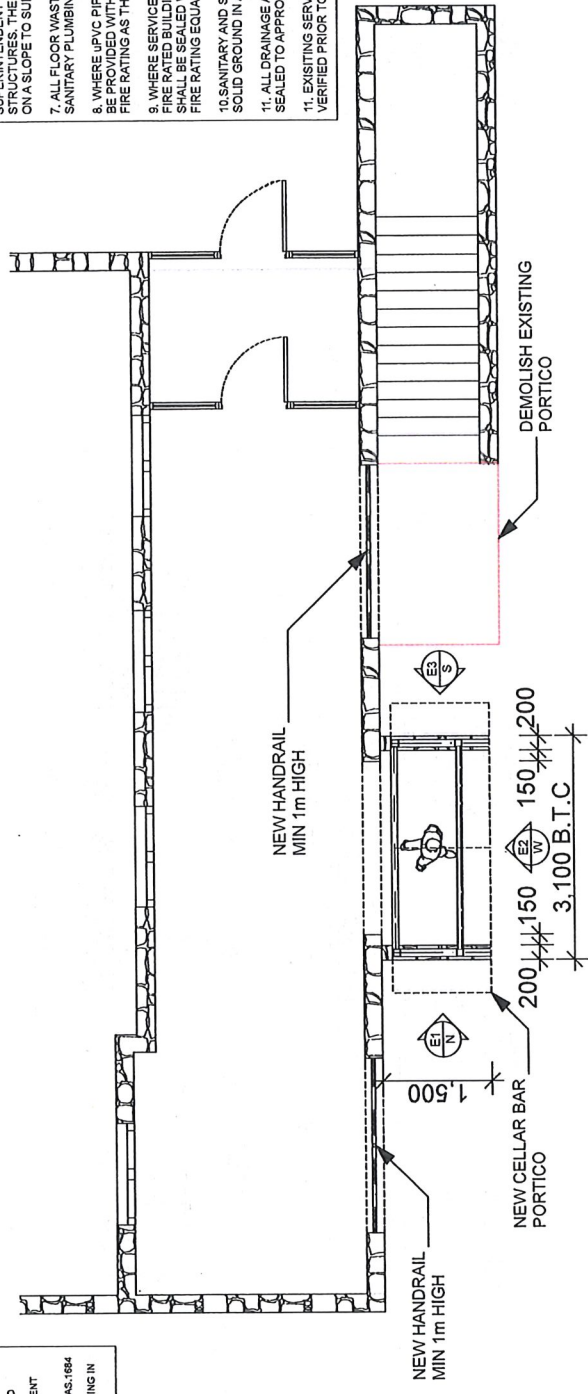
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PERMISSION & SURVEY CONTROL NOTES:
 1- THE DEVELOPMENT WILL COMPLY WITH THE ENVIRONMENTAL PROTECTION GUIDELINES FOR CONSTRUCTION & LAND DEVELOPMENT.

NOTES:
 1- ALL WORKS ARE TO COMPLY WITH THE BCA & ALL RELEVANT REGULATIONS.
 2- ALL DIMENSIONS DEPENDENT ON EXISTING SITE CONDITIONS & SHALL BE VERIFIED BY THE BUILDER ON SITE PRIOR TO COMMENCEMENT OF WORK.
 3- THE CONTRACTOR TO SET OUT STRUCTURE & CONFIRM POSITION OF ALL RELEVANT BUILDING ENVELOPE SETBACKS & EASEMENTS OF THE WORKS.
 4- ALL STRUCTURES TO BE MAINTAINED IN A STABLE CONDITION AT ALL TIMES. NO ELEMENT SHALL BE OVERSTRESSED, DURING & AFTER CONSTRUCTION.
 5- THE BUILDER SHALL CHECK & VERIFY ALL DIMENSIONS ERRORS & CORRECT THEM PRIOR TO COMMENCEMENT OF WORK.
 6- DO NOT SCALE OFF DRAWINGS. WRITTEN DIMENSIONS SHALL TAKE PRECEDENCE & THE BUILDER IS TO NOTIFY THE DESIGNER OF ANY DISCREPANCIES.
 7- ALL TRUSSES, UNITS & CONNECTOR PLATES TO REGISTERED ENGINEERS SPECIFICATIONS.
 8- ALL STORMWATER DRAINAGE IS TO BE CONNECTED INTO RELIEF VALVES & TO BE PROVIDED WITH A 1% FALL TO THE MAIN DRAINAGE REQUIREMENTS.
 9- PROVIDE TEMPORARY & PERMANENT BRACING TO ALL FRAMING IN ACCORDANCE WITH THE BCA.
 10- PROVIDE TEMPORARY & PERMANENT BRACING TO ALL FRAMING IN ACCORDANCE WITH THE BCA.

NOTE:
 - EXTERNAL FINISHES & COLOURS TO BE DETERMINED BY THE BUILDER IN ACCORDANCE WITH THE BCA, LOCAL AUTHORITY REGULATIONS AND DEVELOPMENT CODES.

GENERAL NOTES:
 1. ALL ARCHITECTURAL DRAWINGS SHALL BE READ IN CONJUNCTION WITH RELEVANT STRUCTURAL, HYDRAULIC, MECHANICAL, ELECTRICAL AND CIVIL WORKS DRAWINGS.
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 3. ALL WORK SHALL BE CONSTRUCTED IN ACCORDANCE WITH AS3500.
 4. THE LOCATION OF EXISTING SERVICES SHOWN WILL BE APPROXIMATE ONLY. EXACT LOCATIONS OF SERVICES TO BE VERIFIED PRIOR TO COMMENCEMENT OF WORK.
 5. MINIMUM GRADES ON 100mm AND 150mm DIAMETER STORMWATER DRAINS SHALL BE 1.00% UNLESS SHOWN OTHERWISE.
 6. COVER LEVELS ON MANHOLES AND SUMPS TO BE VERIFIED BY THE SUPERINTENDENT PRIOR TO THE CONSTRUCTION OF TOP SECTIONS OF THE STRUCTURES. THE CONTRACTOR SHALL ALLOW CONSTRUCTION OF COVERS ON A SLOPE TO SUIT THE FINAL SURFACE SHAPES.
 7. ALL FLOOR WASTES ON SANITARY DRAINAGE LINES AND SANITARY ROOM SANITARY PLUMBING LINES SHALL BE 100mm X 100mm.
 8. WHERE UPVC PIPES PENETRATE FIRE RATED WALLS OR SLABS, THEY WILL BE PROVIDED WITH AN APPROVED FIRE RATED COLLAR, HAVING THE SAME FIRE RATING AS THE ELEMENT BEING PENETRATED.
 9. WHERE SERVICES OTHER THAN UPVC PENETRATE CONCRETE OR MASONRY FIRE RATED BUILDING ELEMENTS, THE GAP BETWEEN SERVICES AND ELEMENT SHALL BE SEALED WITH AN APPROVED SILICON FIRESTOP FOAM HAVING A FIRE RATING EQUAL TO THAT OF THE ELEMENT BEING PENETRATED.
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 12. EXISTING SERVICES CONNECTION POINT SHALL BE LOCATED ON SITE AND VERIFIED PRIOR TO COMMENCEMENT OF WORK.

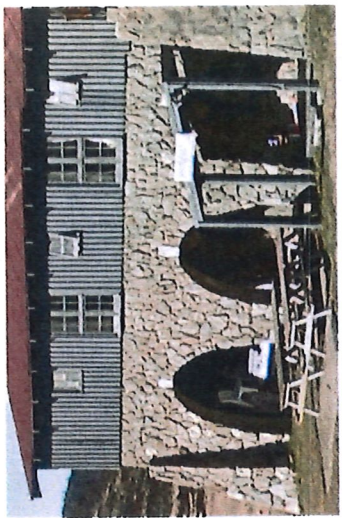


C.B PORTICO PLAN
 1:50

DEMOLITION NOTES:
 ALL DEMOLITION TO 2601
 ALL INTERNAL DEMOLITION TO COMPLETED BY HAND AND MATERIALS TO BE SEPARATED FOR SALVAGE AND RECYCLING WHERE POSSIBLE.
 PROP AND SUPPORT ROOF AND LOAD-BEARING ELEMENTS DURING DEMOLITION AND CONSTRUCTION.
 CONTRACTOR TO REMOVE ALL DEMOLISHED MATERIAL TO APPROPRIATE RECYCLING POINT TO ACT GOVERNMENT REGULATIONS.

DEMOLITION PROCEDURE
 1. PROPOSED METHOD DISMANTLE TIMBER AND TIMBER BEAMS FOR SALVAGE AND RE-USE. REMOVAL OF ALL GLASS AND WINDOWS FOR RE-USE. BRICK WALLS TO BE DISMANTLED BY HAND AND SOLID AND SPRECK WALL SEND CRUSHED TO BE DISMANTLED BY HAND AND TAKEN TO TIP. THE REMAIN WOULD THEN BE MADE UP OF CONCRETE SLABS AND VERANDAH AND CONCRETE DRIVEWAYS AND CAR PARKING. THIS WOULD BE DELIVERED TO CANBERRA RECYCLERS AT PIALLIGO FOR RECYCLING.
 2. POLLUTION: AS PER ACT POLLUTION CONTROL LAWS.
 3. ASBESTOS FIBRO SHEET WHERE ENCOUNTERED LICENSED ASBESTOS REMOVING CONTRACTOR, ACCORDING TO ACT ASBESTOS REMOVAL STANDARDS.

EVENT	DATE	DETAILS



NOTE:
 - ANY DAMAGE CAUSED TO THE SURROUNDING ENVIRONMENT BY THE CONTRACTOR, INCLUDING STREET TREES, FOOTPATHS, NATURAL STRIPS (VERGE), SERVICES & ADJOINING LAND, AS A RESULT OF THE CONSTRUCTION OF THE RESIDENCE, IS TO BE REPAIRED & REINSTATED TO ITS ORIGINAL STATE BY THE BUILDER.

Project Title:
ADDITION & DEMOLITION
 To Cellar Bar Portico
 Kosciuszko Chalet Hotel NSW
 Kosciuszko Road
 For: Blyron Group PTY LTD

Drawing Title:
C.B PORTICO PLAN

Drawing No: **WD03**

Drawn by: [Name] Checked by: [Name]
 Date: Thursday, 20 December 2018

Drawing Scale: 1:50, 1:1

Drawing Status: **DA DRAWINGS**

Project No: 0030
 Revision: **A**

701 070
 Architectural Drafting & Design
 Nik Zabalic
 ABN: 23 730 847 452

blyron group
 Hotels & Entertainment

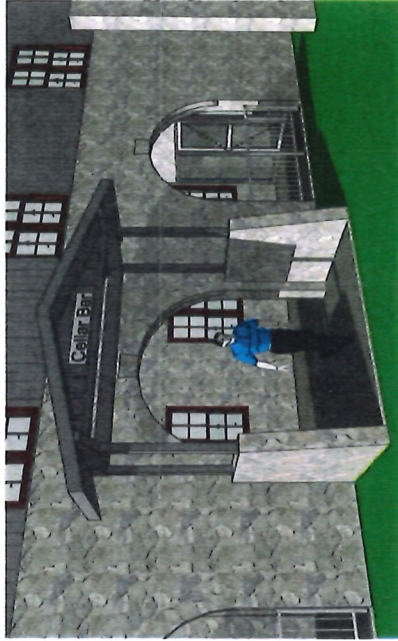
Charlotte Pass
 SNOW RESORT

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 DO NOT SCALE OFF DRAWINGS.

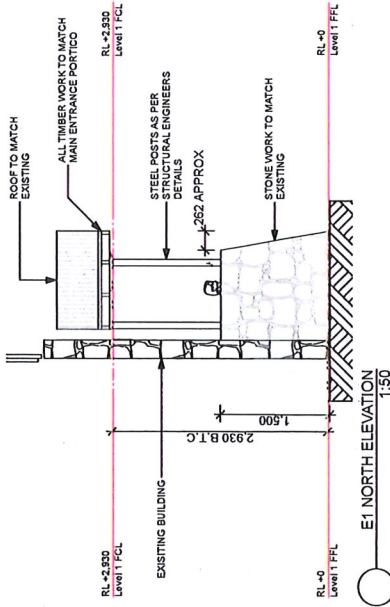
EROSION & SEDIMENT CONTROL NOTES:
 - THE DEVELOPMENT WILL COMPLY WITH THE ENVIRONMENT PROTECTION GUIDELINES FOR CONSTRUCTION & LAND DEVELOPMENT.

- NOTES:**
- 1- ALL WORKS ARE TO COMPLY WITH THE BCA & ALL RELEVANT AUTHORITY REQUIREMENTS.
 - 2- ALL DIMENSIONS DEPENDENT ON EXISTING SITE CONDITIONS & SHALL BE VERIFIED PRIOR TO SITE PRIOR TO COMMENCEMENT OF ALL WORKS.
 - 3- REGISTERED SURVEYOR TO SET OUT STRUCTURE & CONFIRM POSITION OF ALL RELEVANT BUILDING ENVELOPE SETBACKS & ALL TIME. NO ELEMENT SHALL BE OVERSTRESSED, DURING & AFTER CONSTRUCTION.
 - 4- THE STRUCTURE SHALL BE MAINTAINED IN A STABLE CONDITION AT ALL TIMES. THE DESIGNER SHALL CHECK & VERIFY ALL DIMENSIONS ERRORS & DISCREPANCIES ON SITE.
 - 5- DO NOT SCALE OFF DRAWINGS. WRITTEN DIMENSIONS SHALL TAKE PRECEDENCE OVER DIMENSIONS SHOWN ON DRAWINGS.
 - 6- ALL TRUSSES, LINTELS & CONNECTOR PLATES TO REGISTERED ENGINEER SPECIFICATIONS.
 - 7- ALL WORK SHALL BE CONNECTED TO REGISTERED SERVICE LINE IN ACCORDANCE WITH BCA & LOCAL AUTHORITY REQUIREMENTS.
 - 8- ALL MATERIALS & CONSTRUCTION MUST COMPLY WITH AS 1684 THE NATIONAL TIMBER FRAME CODE.
 - 9- PROVIDE TEMPORARY & PERMANENT BRACING TO ALL FRAMING IN ACCORDANCE WITH THE BCA.

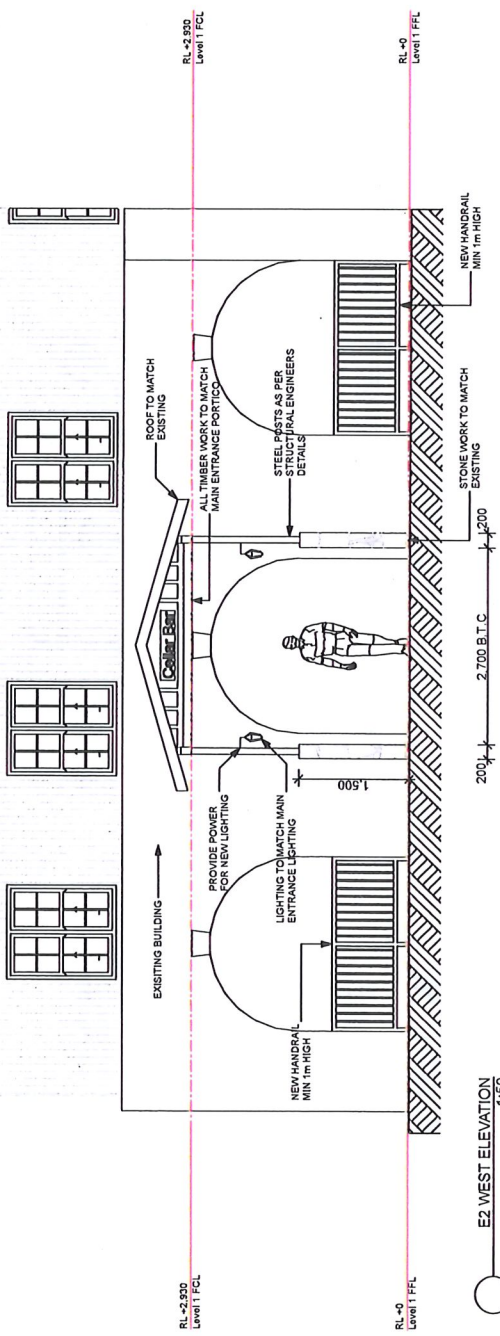
NOTES:
 - ALL FINISHES & COLOURS TO BE IN ACCORDANCE WITH COUNCIL CONDITIONS AND DEVELOPMENT CODES.



OPTION 3 3D-1
1:250



E1 NORTH ELEVATION
1:50



E2 WEST ELEVATION
1:50

NOTE:
 - DAMAGE CAUSED TO THE SURROUNDING PUBLIC INFRASTRUCTURE INCLUDING STREET KERBING, STREET TREES, FOOTPATHS, NATURE STRIPS, VERGE, SERVICES & FURNITURE, SHALL BE REPAIRED & REINSTATED TO ITS ORIGINAL STATE BY THE BUILDER.

- GENERAL NOTES:**
1. ARCHITECTURAL DRAWINGS SHALL BE READ IN CONJUNCTION WITH RELEVANT STRUCTURAL, HYDRAULIC, MECHANICAL, ELECTRICAL AND CIVIL WORKS DRAWINGS.
 2. ALL WORK WILL BE CARRIED OUT IN CONFORMITY WITH THE WATER AND SEWERAGE ACT 2000 AND THE WATER AND SEWERAGE REGULATIONS 2001.
 3. ALL WORK SHALL BE CONSTRUCTED IN ACCORDANCE WITH ASS500.
 4. THE LOCATION OF EXISTING SERVICES SHOWN WILL BE APPROXIMATE ONLY. EXACT LOCATIONS OF SERVICES TO BE VERIFIED PRIOR TO COMMENCEMENT OF WORK.
 5. MINIMUM GRADES ON 100mm AND 150mm DIAMETER STORMWATER DRAINS SHALL BE 1.00% UNLESS SHOWN OTHERWISE.
 6. COVER LEVELS ON MANHOLES AND SUMPS TO BE VERIFIED BY THE SUPERINTENDENT PRIOR TO THE CONSTRUCTION OF TOP SECTIONS OF THE STRUCTURES. THE CONTRACTOR SHALL ALLOW CONSTRUCTION OF COVERS ON A SLOPE TO SUIT THE FINAL SURFACE SHAPES.
 7. ALL FLOOR WASTES ON SANITARY DRAINAGE LINES AND PLANT ROOM SANITARY PLUMBING LINES SHALL BE 100mm X 100mm.
 8. WHERE UPVC PIPES PENETRATE FIRE WALLS OR SLABS, THEY WILL BE PROVIDED WITH AN APPROVED FIRE RATED COLLAR, HAVING THE SAME FIRE RATING AS THE ELEMENT BEING PENETRATED.
 9. WHERE SERVICES OTHER THAN UPVC PENETRATE CONCRETE OR MASONRY FIRE RATED ELEMENTS, THE GAPS BETWEEN SERVICES AND ELEMENT SHALL BE FILLED WITH FIRE RATED MORTAR. ALL ELEMENTS HAVING A FIRE RATING EQUAL TO THAT OF THE ELEMENT BEING PENETRATED.
 10. SANITARY AND STORMWATER DRAINAGE IS TO BE SUPPORTED ON OR FROM SOLID GROUND IN ACCORDANCE WITH ASS3500.
 11. ALL DRAINAGE AND EATER SERVICES IDENTIFIED TO BE ABANDONED SHALL BE SEALED TO APPROVAL.
 12. EXISTING SERVICES CONNECTION POINT SHALL BE LOCATED ON SITE AND VERIFIED PRIOR TO COMMENCEMENT OF WORK.

Project Title: ADDITION & DEMOLITION to Cellar bar Portico Kosciuszko Chalet Hotel NSW Kosciuszko Road For: Blyden Group PTY LTD		Drawing No: WD04 Drawing Scale: 1:250, 1:50 Drawn by: Date: Thursday, 20 December 2018	Project No: 0030 Revision: A
Drawing Title: ELEVATIONS, 3D VIEW			
For: Blyden Group PTY LTD blyden group nature & environment			
Architectural Drafting & Design ABN: 29 730 847 452			
Charlotte Pass SNOW RESORT			
FOLIO Architectural Drafting & Design			
DO NOT SCALE OFF DRAWINGS. USE DIMENSIONS & NOTIFY DISCREPANCIES BEFORE PROCEEDING.			